



# **GUIDELINES FOR NEW CONSTRUCTION & ADDITIONS**



# Town of Riverhead Landmarks Preservation Commission

## GUIDELINES FOR NEW CONSTRUCTION & ADDITIONS

### PURPOSE

These *Guidelines* were prepared to assist property owners with information when considering new construction or an addition to an existing building. It is not intended that these *Guidelines* should replace consultation with qualified architects, contractors, the Landmarks Preservation Commission (LPC), the Architectural Review Board (ARB) and applicable ordinances.



*This row of residences has similar setbacks, materials and front gables.*

These *Guidelines* were developed in conjunction with the Town of Riverhead's Landmarks Preservation Commission (LPC) and Architectural Review Board (ARB). Please review this information during the early stages of planning your project. Familiarity with this material can assist in moving a project quickly through the approval process, saving applicants both time and money.

**The LPC and ARB encourage informal informational meetings with potential applicants who are considering a project that might include exterior changes to their properties.** Please call the Building Department at (631) 727-3200 ext. 213.

**Nothing in these *Guidelines* shall be construed to prevent ordinary maintenance of repair with like materials of similar quality and color.**

Additional *Guidelines* addressing other historic building topics are available at Town Hall and on its web site at [www.riverheadli.com](http://www.riverheadli.com). For more information, to clarify whether a proposed project requires LPC review, or to obtain permit applications, please call the Building Department at (631) 727-3200 ext. 213.



*Downtown Riverhead includes a wide variety of building styles from the mid-nineteenth through the twenty-first centuries. Most of the commercial buildings located along Main Street are constructed of masonry, primarily brick with stone window lintels and sills, and include storefront windows and decorative building cornices.*

### NEW CONSTRUCTION & ADDITIONS WITHIN A HISTORIC CONTEXT

New construction is a sign of the economic health and vitality of a community and can take many forms including:

- New primary buildings along a street
- Additions to existing buildings
- New secondary structures such as garages, sheds or other outbuildings

Unlike some communities on Eastern Long Island that were developed within a narrow time period, Riverhead benefits from a wide range of architectural styles that are evident in buildings from the nineteenth through the twenty-first centuries. Prior to undertaking a new construction or addition project, the LPC and ARB encourage property owners to develop an understanding of the unique architectural characteristics of Riverhead and allow that understanding to inform the design. This is not intended to imply that historic properties should be "copied" in new construction, but to encourage that new construction be sympathetic to its distinctive surroundings.



*The new commercial building with the front gabled parapet has storefront level arches and contrasting masonry window banding similar to the former bank building to the left.*

## COMPATIBILITY

As stated in the Riverhead Town Code, Chapter 73, *Landmarks Preservation*, revised 2006, § 73-6 G-H:

*G. Any Board(s) reviewing an application for the activities herein described shall consider the following criteria in making its recommendations to approve, deny or approve with modifications:*

3. *Any alteration of existing property shall be compatible with its historic character, as well as the surrounding district, if applicable.*
4. *New construction shall be compatible with the district in which it is located.*

*H. In applying the principle of compatibility, the Commission shall consider the following factors:*

1. *The general design, character and appropriateness of the property and the proposed new construction;*
2. *The scale of the proposed alteration or new construction in relation to the property itself, and surrounding properties;*
3. *The texture, materials and color and their relation to similar features of other properties in the neighborhood;*
4. *Visual compatibility of surrounding properties, including proportion of the property's façade, proportion and arrangement of windows and other openings of the façade, roofline and rhythm of spacing of properties on streets, including setbacks; and*
5. *The importance of historic, architectural or other features to the significance of the property.*

## NEW CONSTRUCTION

New construction in a historic context can dramatically alter the appearance of the streetscape and neighborhood. Because of the historical sensitivity of the area, property owners should take great care to understand how contemporary design will be viewed within the streetscape and neighborhood context. In many cases, the most successful new buildings are those that are clearly contemporary in design but compatible with the character of neighboring properties. The information presented is intended to provide the elements and principles of appropriate design when constructing a new building within a historic context, and more particularly within the context of Riverhead.

It is intended for these principles to allow maximum creativity while allowing plans to be assessed fairly, objectively and consistently. Building designers are encouraged to consider Riverhead's unique and wide range of existing historic building types, styles and detailing and not mimic examples from other communities. An understanding of the existing building fabric should be viewed as a starting point in the design process and not a limiting vocabulary or kit of parts.

### New Construction in Downtown Riverhead

Downtown Riverhead, concentrated along and near Main Street, benefits from a wide range of architectural building types and styles. The evolution of downtown Riverhead's commercial core is evident in its architecture with a variety of building styles including the highly decorative Victorian, lavish Art Deco, simpler Colonial Revival and stately Classical Revival. Recognizing this evolution of the built environment, new buildings should seek to establish themselves as future landmarks in the progression of Riverhead's development.

*In Downtown Riverhead the Landmarks Preservation Commission encourages where possible:*

- Constructing quality contemporary buildings that will become future local landmarks
- Matching setbacks (distances to property lines) of adjacent buildings on a streetscape
- Constructing buildings that are not visually overwhelming with compatible siting, proportion, scale, form, materials, fenestration, roof configuration, details and finishes to adjacent and nearby properties
- Reference to the *Guidelines for Commercial Buildings* and applicable materials *Guidelines*



*The residential areas expanded as the housing need increased with homes of similar size, scale, form and materials.*

### New Construction in Residential Areas and Traditional Commercial Areas

Unlike Main Street in downtown Riverhead, many of the residential blocks and streetscapes in and around downtown and the more traditional outlying commercial areas have a cohesive architectural style with buildings of similar form, mass, scale, setbacks and materials.

Recognizing this cohesion in Riverhead’s residential and traditional commercial neighborhoods, new buildings in these neighborhoods should seek to maintain the historic ambiance with compatible and sympathetic construction.

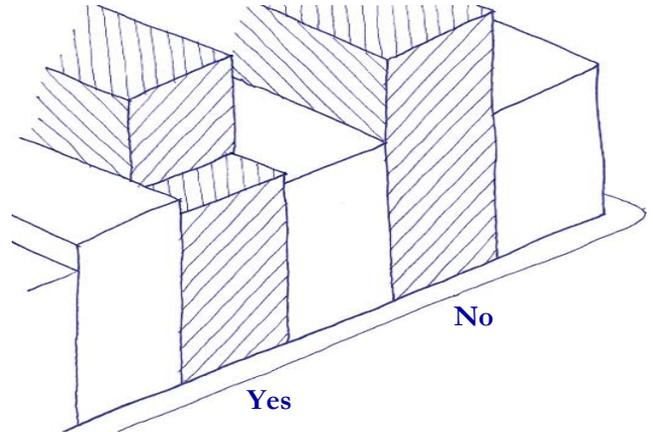
*In Residential Areas and Traditional Commercial Areas the Landmarks Preservation Commission encourages where possible:*

- Preservation of the cohesive ambiance of historic properties and neighborhoods with compatible and sympathetic construction that is not visually overwhelming
- Matching setbacks (distances to property lines) of adjacent buildings on a streetscape
- Using siting, proportion, scale, form, materials, fenestration, roof configuration, details and finishes compatible to adjacent and nearby properties
- Reference to the applicable materials *Guidelines*

### CODE REQUIREMENTS

All new construction is subject to the requirements of the Riverhead code. Please contact the applicable Department in the early stages of your project to discuss the applicable requirements.

- **Single Family Residence Construction:** Please contact the Building Department at (631) 727-3200 ext. 213.
- **All other Construction:** Please contact the Planning Department at (631) 727-3200 ext. 267.



*The lower roof line of the 5-story building to the left is similar to adjoining buildings, with a setback to the upper floors. The right 5-story building has no setback and is visually much taller.*

### PRINCIPLES FOR NEW CONSTRUCTION

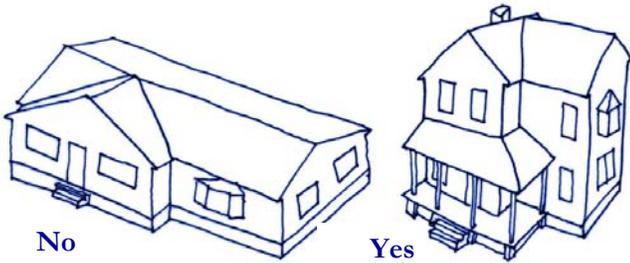
**Size and Scale:** In downtown Riverhead or where the street does not have an obvious or dominant rhythm of cornice heights and window openings, the recommendation of the LPC and ARB will be based on a consideration of actual height and composition of major volumes of the proposed building within the streetscape. In residential areas and traditional outlying commercial areas new construction should reflect the dominant cornice and roof heights of adjacent buildings and the proportions of building elements to one another and the streetscape.

Where two and three story buildings are the norm, buildings that digress from these standards by any great degree can seriously impact the neighborhood. If large scale construction is considered and permitted under the Riverhead Code, particular attention will be given to the location, siting, setbacks (distance to the property lines) of the building and its upper stories, façade treatments (materials, window and door openings, etc.) and the effect of the proposed building on the streetscape and neighborhood as a whole.



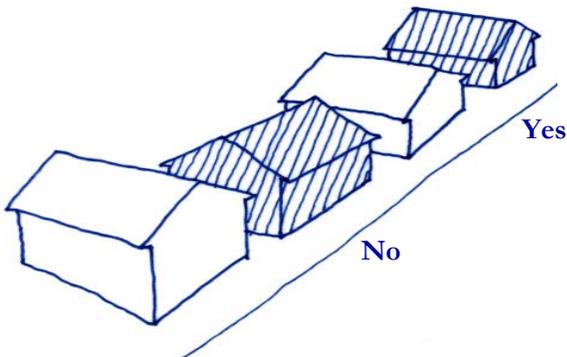
*The one-story residence is not an appropriately sized or proportioned building for the residential streetscape. The form has a horizontal rather than vertical emphasis. The new building to the right is a similar size and has a similar form to the existing buildings.*

**Proportions:** New construction should relate to the dominant proportions of the buildings on the streetscape. The proposed design should closely reflect the height and width ratios of the overall building proportions as well as that of doors, windows, porch bays and storefronts.



Although both of the proposed houses have intersecting gable roofs, the massing and proportions of the house to the left are significantly more horizontal in comparison to the more traditional house above, which is more vertical in emphasis. Because of its vertical emphasis, the more traditional house would be more appropriate within the context of Riverhead's historic buildings. In addition, the house to the right has a more varied form with the wrapping front porch, enhancing the overall building geometry.

**Form and Massing:** Form refers to the shape of major volumes of a building while massing refers to the overall composition of the major volumes of a building, particularly if there are major and minor elements. The façades of new construction should reflect the form of neighboring buildings including the feeling of lightness or weight with similar proportions of solids (walls or siding) to voids (windows and door openings) and projecting porches, bays and overhangs.

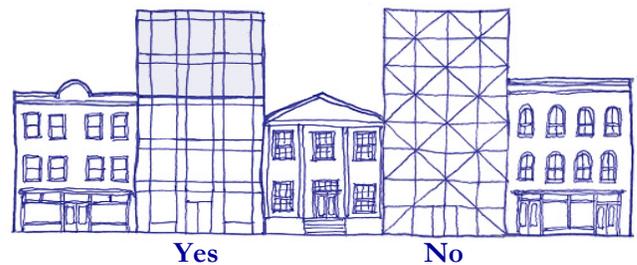


The orientation of the existing buildings has the gable end facing the street. In cases where there is an overwhelming existing prevailing orientation, new buildings should be similarly oriented.

**Orientation:** The principal façade of new construction should be oriented in the same direction as the majority of the buildings on the streetscape. In the case of new construction on a corner site, the front façade should face the same direction as the existing buildings on the street and follow the rhythm of the streetscape.

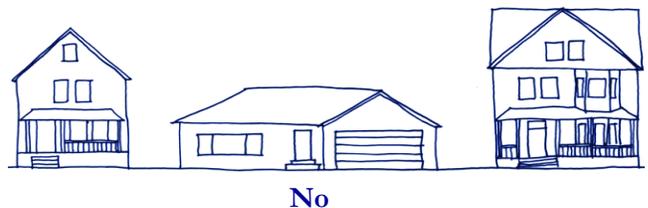


The entrance of the corner building is oriented towards the perpendicular street and is inappropriate.



The 5-story building to the left has a full glass façade that steps back at the 3<sup>rd</sup> floor and a mullion pattern that is compatible with its neighbors. The right building has a diagonal mullion pattern and no setback and is incompatible to adjacent buildings.

**Rhythm and Patterns:** The rhythm and patterns of principal façades of new construction should reflect and maintain neighborhood and streetscape patterns. Rhythm and patterns across the width of a façade typically include the number of bays and the location and spacing between doors and windows. Vertical considerations for rhythm and patterns include floor-to-floor heights, first floor height above the ground, cornice heights, and the vertical distance between rows of windows and windows and cornices. In some instances, where the proposed use and scale of a new building prevents maintaining rhythms and patterns, the property owner is encouraged to incorporate detailing to suggest them such as pilasters that give the impression of bays or multiple buildings.



Street facing garage doors and picture windows are typically not appropriate in a historic neighborhood. The large scale of these openings is inconsistent with the surrounding architecture.



Yes

No

*Although the size, scale, form and mass of the two new buildings are consistent with the neighboring buildings, the new building to the right has enlarged window openings inconsistent with the buildings found on the streetscape.*

**Window and Door Openings:** For new construction, the size, shape, design, proportions and placement of storefronts, windows and door openings should be compatible to those in the surrounding historic buildings while meeting applicable zoning requirements. In residential areas windows should be functionally similar, such as double hung windows, and have similar muntin or grid patterns as the neighborhood's historic buildings. Doors should reflect the historic proportions of windows and panels as neighboring buildings.



*The use of brick and the detailing of the new firehouse are evocative of Riverhead's historic institutional buildings.*

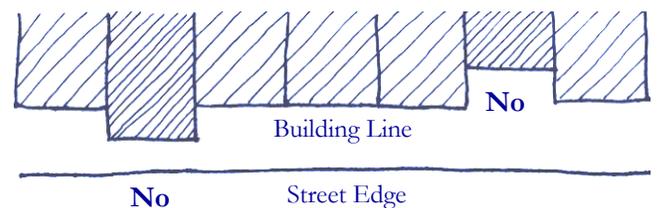
**Materials and Textures:** New construction should use materials and textures in a manner that is sympathetic to the historic buildings found in Riverhead and on the streetscape where they will be located. Materials should be of a similar or complementary color, size, texture, scale, craftsmanship and applicability to the function performed. Traditional materials common in the historic buildings of Riverhead such as wood, brick and stone are recommended.

A sympathetic use of materials should not imply that materials used in new construction must duplicate the old in detail, nor that new construction attempts to mimic historic structures especially in the downtown area. Rather, it is a matter determining the compatibility of the new with the old. It is often appropriate to simplify details such as cornices and moldings. This gives the new building or addition a more contemporary appearance and makes it less a historic replica.



*This new commercial building is visually three sections, the central brick entrance block and flanking glazed office wings. The use of brick and contrasting masonry detailing is similar to Riverhead's historic commercial buildings. The central brick pediment echoes those found nearby on the County Courthouse, the old Post Office and the Roanoke Avenue School. The window muntin pattern and contrasting glazing is a modern material that suggests piers and window openings.*

**Architectural Details:** The character-defining features and details of the historic neighborhood buildings should be reflected in the design for the new construction. In the case of residential areas and more traditional commercial areas, these architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door heads. In many instances these details can be "simplified" to provide compatibility without requiring duplication of historic features.



*New construction should not step forward from or recede back from adjacent buildings on the streetscape.*

**Streetscapes:** New construction should reflect prevailing setbacks (distances between the building and the property line or street or sidewalk) and physical elements that define the historic buildings on a streetscape, such as stone walls, wood fences, building facades or combinations of these which form visual continuity and cohesiveness with the existing historic buildings.

## ADDITIONS TO EXISTING BUILDINGS

Historically the need for increased space was often addressed by constructing additions to existing buildings. Additions to existing historic buildings can provide increased space while maintaining the historic character of the original building and streetscape.

In conformance with *The Secretary of the Interior's Standards*, an addition to a historic building should be subordinate to the historic building and read clearly as an addition. The subordinate appearance of an addition can be achieved through its placement, form, size, massing, materials and details.

Contemporary design and additions to existing properties should not obscure, damage or destroy significant architectural material, and should be compatible with the design of the property and the neighborhood. Whenever possible, additions should be constructed in a manner that, if removed in the future, the essential form and integrity of the historic building would be unimpaired.

When constructing additions to existing buildings, property owners are encouraged to consider the integrity of the existing building and its historic significance and allow the proposed addition to be deferential to the historic building. Similar to new construction, additions should not duplicate historic building details, but should be visually compatible.



*An inappropriate addition can have a detrimental impact on the historic buildings and streetscape.*



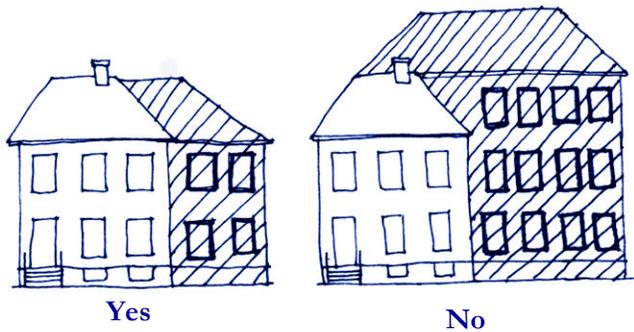
*The Davis-Corwin House was constructed as the home of Chapman Davis Jr. during Riverhead's first period of commercial growth in the 1830's and 1840's. Similar to many historic buildings, a series of additions were added to the rear as the needs of the occupants changed. It also appears that the rear porch was enclosed with a series of double-hung windows to provide additional space. The additions are compatible and subordinate to the oldest portion of the building.*

*The Landmarks Preservation Commission encourages where possible:*

- Construction of additions at rear or side elevations that are subordinate to the historic building
- Construction of additions so that the historic building fabric is not radically changed, obscured, damaged or destroyed
- Additions that are compatible with the design of the existing building and surrounding neighborhood
- Retaining porch elements in place and constructing reversible, translucent enclosure systems inside porch columns and railings.

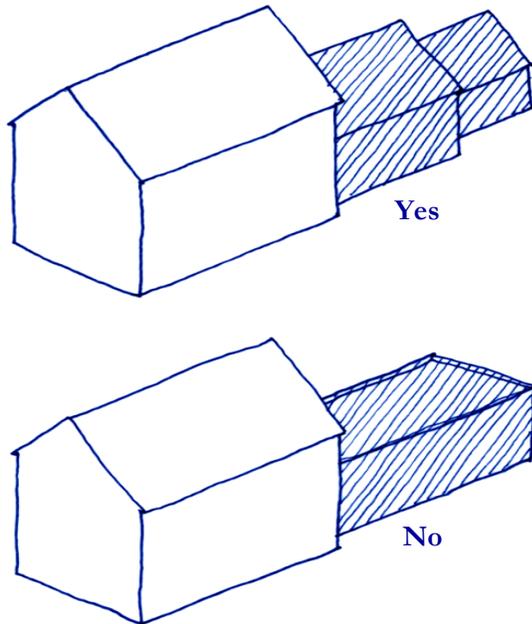


*This home includes a series of additions with varying roof forms at the rear. A small rear shed has complementary a form and materials.*



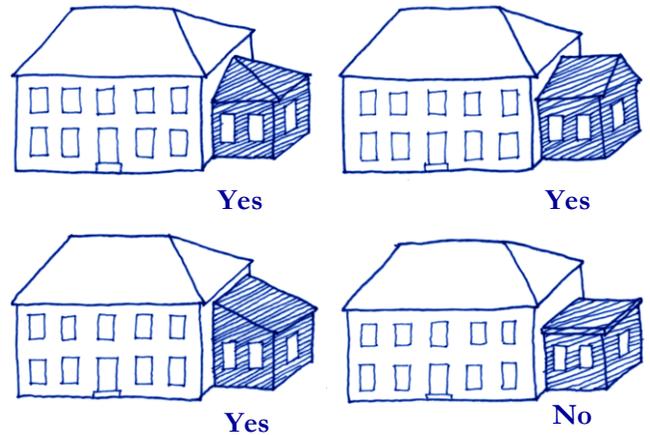
The addition to the left has a similar and appropriate scale, proportion, overall form and window pattern as the existing building. The addition to the right is significantly larger than the existing building and is visually overwhelming and inappropriate.

**Size and Scale:** Additions to existing buildings should generally be smaller than the original building with similar floor-to-floor and first floor heights.



The two gable roof additions with decreasing roof heights and widths shown in the upper example represent an appropriate composition with regard to form, mass and proportions to the original gable roof building. Additions similar to this with decreasing geometry are typical of historic construction. The lower example of a flat roofed addition is an inappropriate form for the original gable roof building. The length of the mass visually competes with the original structure.

**Proportions:** New additions should relate to the dominant proportions of the existing building. The proposed design should closely reflect the height and width ratios of the overall building proportions as well as that of doors, windows, porch bays and storefronts.



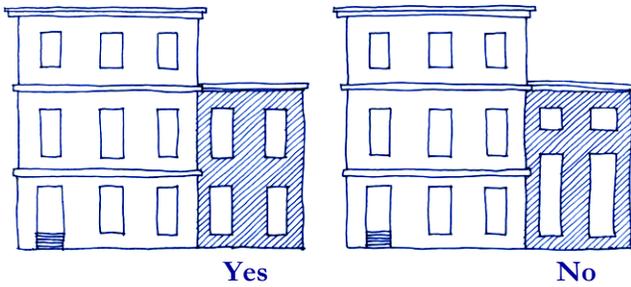
The size and placement of all four additions is similar, however the roof forms vary. It is generally more appropriate to add a sloped roof addition to a historic building unless the historic building originally had a flat roof.

**Form and Massing:** Form refers to the shape of major volumes of a building while massing refers to the overall composition of the major volumes of a building, particularly if there are major and minor elements. The massing of additions should complement, but not necessarily match the original building. For example, a glassed-in side porch might be a “lighter” variation of the original façade massing while a solidly infilled side porch might not be appropriate.



The rear addition and its side entry create a new primary façade, which is inappropriate.

**Orientation:** The principal façade of a building should be oriented in the same direction as the majority of the buildings on the streetscape. When adding to an existing building, the addition should be located, planned, and detailed so as to not confuse the dominant historic orientation of the original building. The addition should not have the effect of creating a new primary façade. The addition should not be visually dominant, and should be screened from the street as much as possible.



The proportions of the windows at the left addition are consistent with those found at the original building. By contrast, the first floor windows at the right addition are significantly taller and the second floor significantly smaller and inappropriate.

**Rhythm and Patterns:** The rhythm and patterns of principal façades of an addition should reflect that of the original building. Rhythm and patterns across the width of a façade typically include the number of bays and the location and spacing between doors and windows. Vertical considerations for rhythm and patterns include floor-to-floor heights, first floor height above the ground, cornice heights, and the vertical distance between rows of windows and windows and cornices. In some instances, where the proposed use and scale of a building addition prevents maintaining rhythms and patterns, the property owner is encouraged to incorporate detailing to suggest them such as pilasters that give the impression of bays or multiple buildings.



The gable-end details at the one story section are simplified and the rear addition is stucco.

**Architectural Details:** The character-defining features of the existing building should be reflected in the design for the additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays and the shapes of window and door heads. In many instances these details can be “simplified” to provide compatibility without requiring duplication of historic features.



This gable end includes a projecting, bracketed, rounded hood over the group of four windows. Also note the window jambs curve in from the wall plane.

**Window and Door Openings:** For additions, the size, shape, design, proportions, spacing and placement of windows and door openings in the addition should be similar to those in the existing building. Windows should be functionally similar, such as double hung windows, and have similar muntin or grid patterns as the existing historic portions of the building. Doors should reflect the historic proportions of windows and panels.



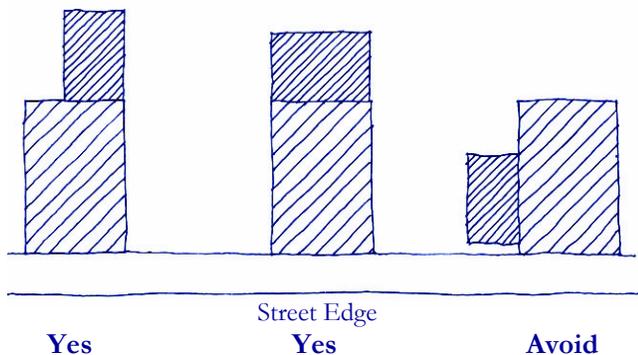
Historically the size of windows in most residential buildings is reduced on the upper stories. It was also typical to have a decorative window at the gable end with shutters sized and shaped to fit the opening. The double door with arched glazing is typical of the Victorian period.

**Materials and Textures:** Although new additions can use materials similar to those used in the historic building, there are times when this is not economically feasible or practical. In these cases it is appropriate to alter materials on additions as long as the material is a “lesser” material than the original construction. This would include adding a wood clapboard or stucco addition to a stone or brick building; however, it is not appropriate to construct a brick or stone addition onto a wood clapboard or shingle building.



*This former residence, now used for commercial offices, includes a series of rear additions that are successively smaller scale. The additions are complementary to the principal historic core of the house with similar materials and simplified detailing.*

**Streetscapes:** When possible additions should be positioned to have the least visible impact from the street, with additions at front façades strongly discouraged and rear additions generally most appropriate. Additions at side elevations are generally appropriate, although it is recommended that they be held back as far as possible from the street.



*The visibility of the left and middle additions would be limited from the sidewalk and the street. The addition to the right is very visible from the sidewalk and street and should be avoided.*



*This house has a narrow street frontage and is setback close to the edge of the sidewalk. The second floor windows at the front elevation are very short, suggesting limited ceiling height at the upper level.*

*A gable roof addition was constructed to the rear, as seen in the photograph below, providing additional space with minor impact on the historic character of the principal front elevation. The front elevation was modified slightly to accommodate the additional second floor ceiling height with the top of the addition roof extending above the historic roof ridge. A small rear shed addition is located to the rear, possibly a former porch that has been enclosed. The forms, materials and details of the additions are similar to the historic building. The window heights and configurations are similar, with the addition being differentiated to include paired windows at the first floor.*



## SECONDARY BUILDINGS & STRUCTURES

Several properties in Riverhead include more than a single principal building. In many instances, secondary buildings, structures and landscape features are also present and contribute significantly to the overall property, setting and historic context.

Secondary buildings or structures in the Town of Riverhead most typically include but are not limited to sheds, garages and carriage houses.

Secondary buildings and structures can contribute significantly to our understanding of Riverhead's history and character. Although most of Riverhead's secondary buildings were designed to be utilitarian, in many cases buildings associated with residences such as carriage houses and garages were constructed to reflect or be complementary to the property's principal building. These similarities can include similar forms, materials and detailing.



*Recognizing the importance of secondary buildings, the Town of Riverhead has restored the exterior of this carriage house currently occupied by the East End Arts & Humanities Council.*

A secondary building or structure is significant if it was:

- Constructed at the same time as the principal building on the site
- Constructed after the principal building on the site but was used for a significant function
- Represents an important architectural design or construction method
- Associated with an important event or person related to the property
- Built incorporating distinctive characteristics of form, style, materials or detailing or shares those characteristics with other buildings on the site



*The garage is located to the rear of the residence. It is clearly subordinate to the house and sympathetic in design, form and materials. It also appears that the building was formerly a carriage house prior to being converted into a garage.*

The following guidelines are recommended when addressing historically significant secondary buildings and structures.

*The Landmarks Preservation Commission encourages where possible:*

- Maintaining significant secondary buildings and structures as carefully as principal buildings
- Carefully maintaining significant and unique details at secondary buildings and structures including cupolas, barn doors, overhead doors, etc.
- Adapting functionally obsolete buildings for new uses such as converting a carriage house into a garage

*The Landmarks Preservation Commission discourages:*

- Demolition of significant secondary buildings and structures



*This painted carriage shed has been preserved and represents an important part of Riverhead's history.*



*This former carriage house has been adapted into a garage building with the installation of overhead doors. The hay loft boist remains.*

### DEMOLITION OF SECONDARY BUILDINGS & STRUCTURES

Because secondary buildings and structures can contribute to the overall property, historic setting and streetscape, demolition or removal from the site is strongly discouraged and should be avoided. In some instances, secondary buildings can become functionally obsolete on a property, such as a carriage house. Before considering demolition as an option it is recommended that alternative uses that maintain the historic character be explored. Carriage houses have successfully been converted into garages and garages can be easily adapted into storage spaces. In addition, secondary buildings can be relocated to new sites within Riverhead.

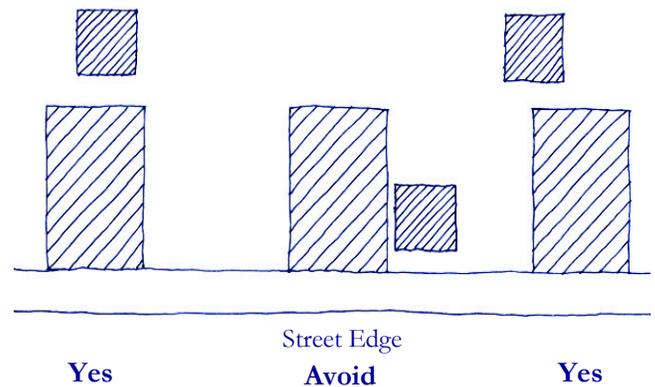
There are some cases in which contemporary secondary buildings are not compatible to the historic property or district and are not appropriate, such as some pre-manufactured metal garages or garden sheds. If demolition of non-compatible secondary buildings is considered, it is recommended that it be conducted as sensitively as possible.

*The Landmarks Preservation Commission encourages:*

- Ensuring that demolition will not damage other parts of the historic building, neighboring buildings or landscape features
- Documenting the secondary building or structure with photographs and/or drawings prior to demolition
- Considering reuse of salvageable materials such as windows, doors, hardware, shutters, bricks or siding for other buildings on the site or other projects preventing disposal of these materials in landfills

### NEW SECONDARY BUILDINGS & STRUCTURES

Similar to additions, secondary buildings and structures should be subordinate to and visually compatible with the primary building without compromising its historic character. Although the types and locations of these features can be limited by the Town Code, ideally the secondary building or structure should be located so it is not visible from the street and if that is not possible, so that the visibility is limited. Please contact the Building Department at (631) 727-3200 ext. 213 to discuss applicable regulations for proposed secondary buildings and structures.



*The visibility of the secondary buildings or structures at the right and left is limited from the roadway. The secondary building or structure in the middle is very visible from the roadway and should be avoided.*

*The Landmarks Preservation Commission encourages where possible:*

- Locating secondary buildings and structures, including garages, storage buildings, sheds, animal shelters, play houses and swimming pools at the rear of the main building and away from the principal entrance or street elevation
- Designing new secondary buildings and structures to complement the period and style of the principal building and other buildings on the site; this includes using similar form, materials, colors and simplified detailing
- Construction of new secondary buildings in a manner that does not damage other resources on the site including archaeological resources

*The Landmarks Preservation Commission discourages:*

- Construction of new secondary buildings or structures in a location that is highly visible from public thoroughfares when less prominent locations are available
- Pre-manufactured metal sheds and outbuildings



*Baiting Hollow's 1821 Fresh Pond Schoolhouse was moved to its present location off of Main Street in 1977.*

## BUILDING RELOCATION

It is always preferable to retain a building in its original historic setting; however, there are circumstances when that is not feasible or practical. Instances where this might not be realistic include buildings located within a flood plain or buildings in a location that would be disturbed by a major infrastructure project such as road widening. Relocating buildings can be the only option to save them from demolition.

When it has been determined that retaining a historic building at its original site is not feasible and all other alternatives have been explored, relocation can be considered. It is important to remember that buildings are best appreciated within the appropriate setting and duplicating the major elements of that historic setting should be considered.

*The Landmarks Preservation Commission encourages:*

- Selecting a site with similar characteristics as the original site including elevation changes and major tree placement
- Locating the building in a similar setting as the original site including orientation and distance from the roadway, and proximity to trees and other landscape features
- Relocating related resources and landscape features such as secondary buildings and structures, stone walls, wood fences, stone walkways, etc. to the new site to re-establish original relationships

*The Landmarks Preservation Commission discourages:*

- Altering the historic spatial relationship between the relocated building and its surrounding historic features

*The LPC does not recommend relocation of a building unless:*

- The proposed relocation is the only alternative for saving a significant building

## ARCHAEOLOGICAL RESOURCES & EXCAVATION

If the construction of a new building or addition will require substantial excavation on a previously undisturbed archaeological site or is located adjacent to an existing historic building or complex, there is the potential to uncover important archaeological resources.

On Long Island there is the potential for archaeological remains from Native Americans and early settlers in some environmental settings. Many of the oldest settlement areas and properties could possibly contain or be surrounded by archaeological deposits. Archaeological resources of interest in the area of Riverhead include the sites of Native American camps and settlements; foundations from historic houses, secondary buildings, early manufacturing and industry and shops; privy pits and other areas of waste disposal.

Although Riverhead's regulations and Code do not specifically address archaeological resources, it is recommended that property owners treat potential archaeological resources carefully. Once a site has been disturbed by untrained lay persons, the ability to reveal the site through professional archeological interpretation might be lost forever.

In general, formal archaeological investigation is not required unless a project involves state or federal funding, however it is recommended that property owners with known sites leave those sites undisturbed until the site may be professionally uncovered and recorded. Please contact the New York State Historic Preservation Office for additional information.

New York State Historic Preservation Office  
Peebles Island; PO Box 189; Waterford, NY 121889

Tel: (518) 237-8643

[www.nysparks.state.ny.us/shpo](http://www.nysparks.state.ny.us/shpo)



Funding for the Town of Riverhead Historic Guidelines and Bulk Study was provided by a 2005 award from the Quality Communities Grant Program, which is administered by the New York Department of State, Office of Coastal, Local Government, and Community Sustainability.

© Dominique M. Hawkins, AIA, of Preservation Design Partnership in Philadelphia, PA, preparer of this publication.